



Planning Committee
Monday, 3rd April, 2023 at 9.30 am
in the Council Chamber, Town Hall, Saturday Market
Place, King's Lynn PE30 5DQ

Reports marked to follow on the Agenda and/or Supplementary Documents

- a) Decisions on Applications (Pages 2 - 189)

To consider and determine the attached Schedule of Planning Applications submitted by the Executive Director.

Contact

Democratic Services
Borough Council of King's Lynn and West Norfolk
King's Court
Chapel Street
King's Lynn
Norfolk
PE30 1EX
Tel: 01553 616394
Email: democratic.services@west-norfolk.gov.uk

Planning Committee

3 April 2023

Agenda Item 8a

2



22/01648/FM

3



WILD KEN HILL
PROPOSED LANDSCAPE MASTERPLAN (1of2)



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HEACHAM BOTTOM FARM

SITE PLAN_AS EXISTING 1:750 @ A3

DRAWING PACKAGE
REVISION B

WILD KEN HILL

FEBRUARY 2023

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Site Plan Key

- 1 Office
- 2 Retail Unit
- 3 Agricultural Shed
- 4 Existing Access
- 5 Farmhouse
- 6 Agricultural Fields



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02

DEMOLITION PLAN_AS PROPOSED 1:750 @ A3

Site Plan Key

Area to be demolished
1208 m²



Area to be demolished 222 m²



Area to be demolished 926 m²



Area to be demolished 60 m²



HEACHAM BOTTOM FARM

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REVISION B

WILD KEN HILL

FEBRUARY 2021

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9

SITE PLAN_AS PROPOSED 1:750 @ A3

Site Plan Key

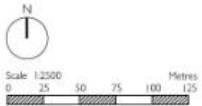
- 1 Muster Point (For Nature Tours)
- 2 Retail / W/Cs (New Build)
- 3 Offices / Events Space
- 4 Bike Shop & Rental
- 5 Retail Unit
- 6 Covered Bike Parking
- 7 Main Visitor Building (New Build)
- 8 Outdoor F&B Seating
- 9 Pay Point
- 10 Indoor Play
- 11 Outdoor play
- 12 Wild Garden
- 13 Orchard Pasture
- 14 Woven Willow Art
- 15 Walking Trails
- 16 Tumuli
- 17 Parking
- 18 Delivery Entrance
- 19 Refuse Storage



SITE MASTERPLAN 1 OF 2_AS PROPOSED 1:2500 @ A3

Site Plan Key

- 1 Muster Point (For Nature Tours)
- 2 Retail / W.Cs (New Build)
- 3 Office / Retail
- 4 Covered Bike Parking
- 5 Main Visitor Building (New Build)
- 6 Outdoor F&B Seating
- 7 Pay Point
- 8 Indoor Play
- 9 Outdoor play
- 10 Wild Garden
- 11 Orchard Pasture
- 12 Woven Willow Art
- 13 Walking Trails
- 14 Tumuli
- 15 Dog Walking Area
- 16 Pump Trail
- 17 Woodland Pump Track
- 18 Woodland Trail
- 19 Glamping
- 20 Parking
- 21 Overspill Car Park



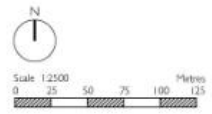
HEACHAM BOTTOM FARM
 DRAWING PACKAGE
 REVISION B
 WILD KEN HILL
 FEBRUARY 2021
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SITE MASTERPLAN 2 OF 2_AS PROPOSED 1:2500 @ A3

Site Plan Key

- 1 Woodland Pump Track
- 2 Woodland Trail
- 3 Glamping



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REVISION B

WILD KEN HILL

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Note: Air Source Heat Pump specific size
and location to be confirmed



Profiled metal
roof



Vertical standing
seam cladding



Vertical profile
cladding



South Elevation



East Elevation



North Elevation



West Elevation

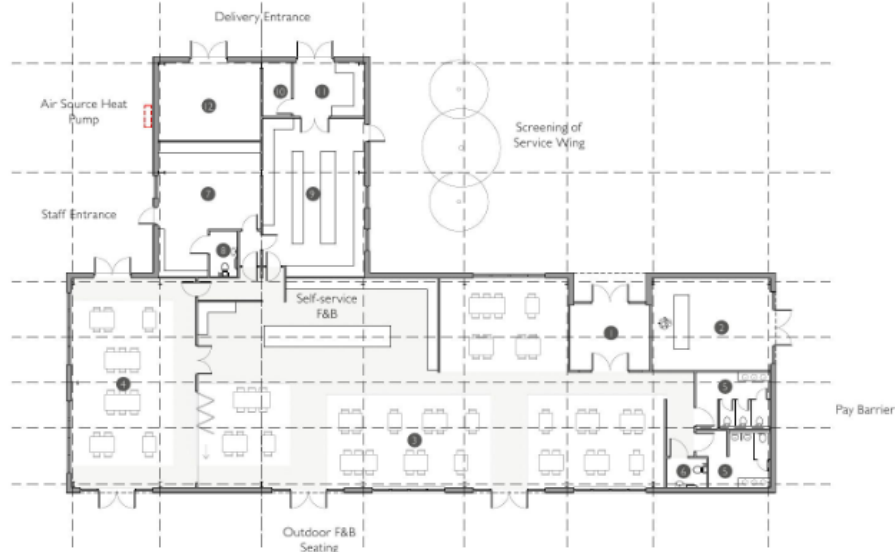


VISITOR BUILDING FLOOR PLAN_AS PROPOSED 1:200 @ A3

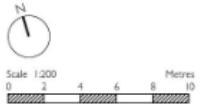
- Floor Plan Key
- 1 Main Entrance
 - 2 Reception
 - 3 F&B Seating
 - 4 Flexible Space
 - 5 W/C
 - 6 Accessible W/C
 - 7 Staff Room / Kitchen
 - 8 Staff W/C
 - 9 Kitchen
 - 10 Cold Store
 - 11 Store Room
 - 12 Plant Room

Note: Air Source Heat Pump specific size and location to be confirmed

HEACHAM BOTTOM FARM
 DRAWING PACKAGE
 REVISION B
 WILD REN HILL
 FEBRUARY 2023
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Floor Plan

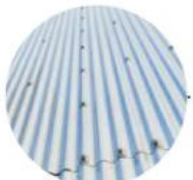


Proposed G.L.F.A. 573 m²

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RETAIL / W.Cs NEW BUILD ELEVATIONS_AS PROPOSED 1:200 @ A3

Note: Air Source Heat Pump specific size and location to be confirmed



Profiled metal roof



Vertical standing seam cladding



Vertical profile cladding



South East Elevation



North West Elevation



South West Elevation



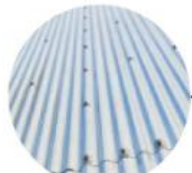
North East Elevation



HEACHAM BOTTOM FARM
DRAWING PACKAGE
REVISION B
WILD REN HILL
FEBRUARY 2022
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12

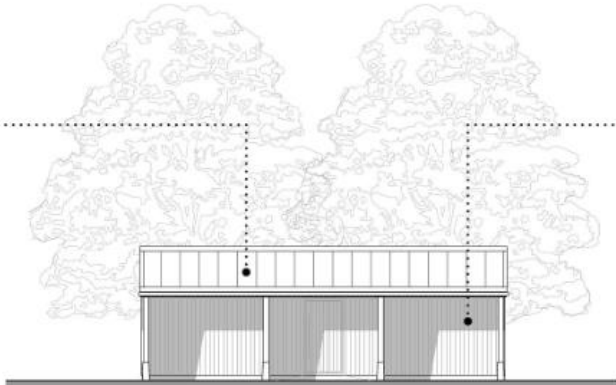
MUSTER POINT ELEVATIONS_AS PROPOSED 1:100 @ A3



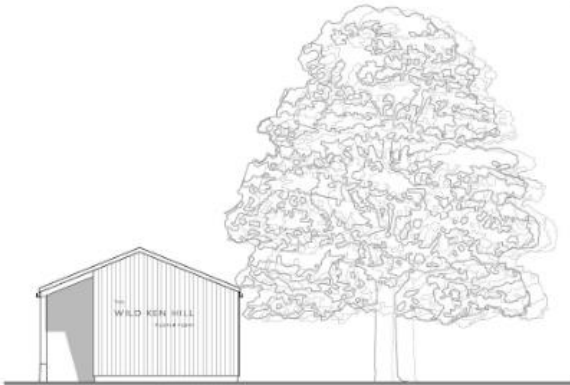
Profiled metal roof



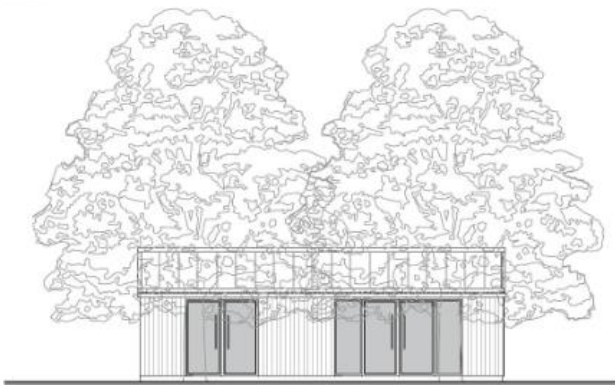
Vertical timber cladding



East Elevation



North / South Elevation



West Elevation



Scale 1:100

Metres



HEACHAM BOTTOM FARM

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WILD KEN HILL

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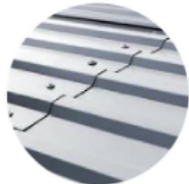
Note: Air Source Heat Pump specific size
and location to be confirmed



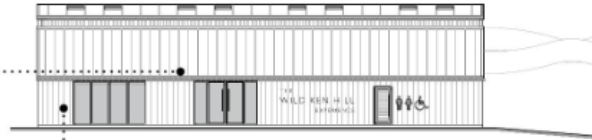
Profiled metal
roof



Vertical standing
seam cladding



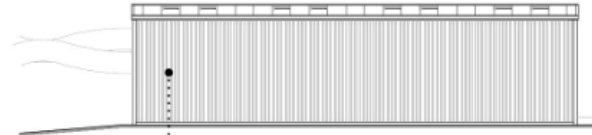
Vertical profile
cladding



North West Elevation



North East Elevation



South East Elevation

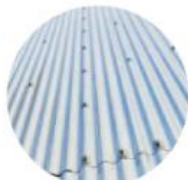


South West Elevation



14

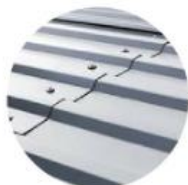
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WILD KEN HILL
FEBRUARY 2023
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Profiled metal roof



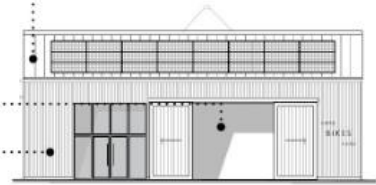
Sliding 'Barn' Doors



Vertical profile cladding



North Elevation



West Elevation



South Elevation

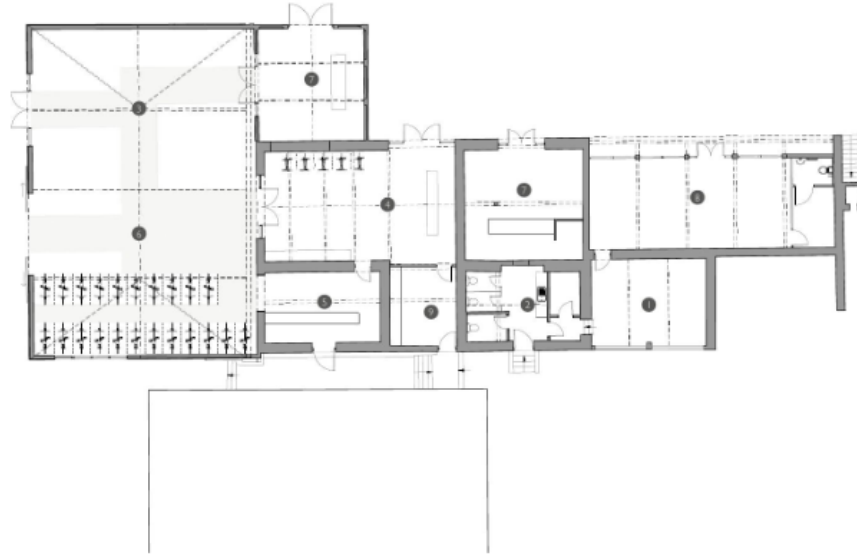


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EXISTING FARM BUILDINGS FLOOR PLAN_AS PROPOSED 1:200 @ A3

Floor Plan Key

- 1 Office
- 2 Office Facilities
- 3 Covered Arrival Space
- 4 Bike Workshop / Retail
- 5 Bike Rental Office
- 6 Covered Bike Storage
- 7 Retail Unit
- 8 Corporate Event Space
- 9 Storage / Staff Room



Floor Plan



Scale 1:200
0 2 4 6 8 10
Metres

HEACHAM BOTTOM FARM

DRAWING PACKAGE
REVISION B

WILD KEN HILL

FEBRUARY 2023

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GLAMPING SITE PLAN_AS PROPOSED 1:750 @ A3

- Site Plan Key
- 1 Service Track
 - 2 Yurt
 - 3 Private Shower
 - 4 Treehouse Yurt
 - 5 Private W.C
 - 6 Facilities Block
 - 7 Kitchen Facility



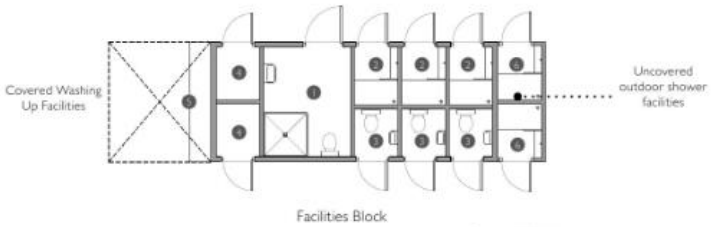
HEACHAM BOTTOM FARM
 DRAWING PACKAGE
 REVISION B
 WILD REN HILL
 FEBRUARY 2021
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GLAMPING FACILITIES PLANS & ELEVATIONS_AS PROPOSED 1:100 @ A3

Facilities Block Floor Plan Key

- 1 Family Shower
- 2 Shower
- 3 WC
- 4 Store
- 5 Washing Up Station
- 6 Outdoor Shower



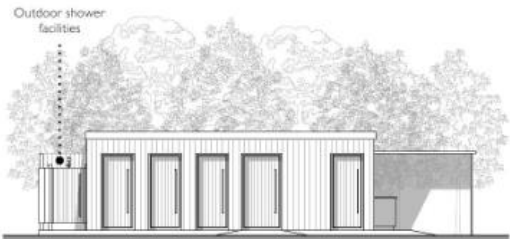
Profiled metal roof



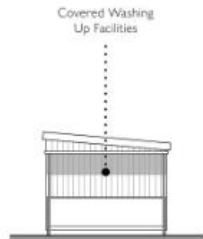
Vertical timber cladding



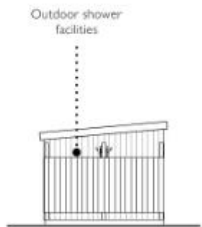
Vertical profile cladding



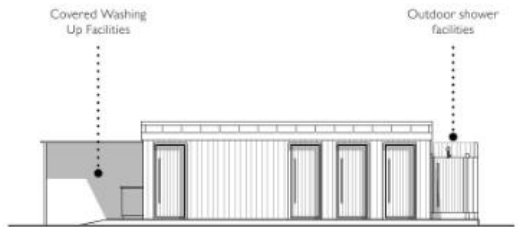
Front Elevation



Side Elevation



Side Elevation



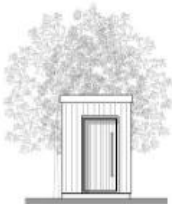
Rear Elevation



HEACHAM BOTTOM FARM
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Private Shower



Front Elevation



Rear Elevation



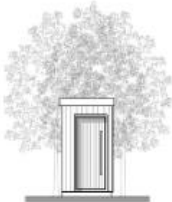
Side Elevation



Profiled metal
roof



Private W.C.



Front Elevation



Rear Elevation



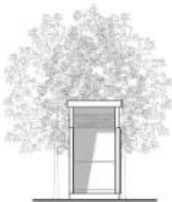
Side Elevation



Vertical timber
cladding



Private Kitchen
Facility



Front Elevation



Rear Elevation



Side Elevation



Vertical profile
cladding



22/01648/FM

Slide
No 19

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View looking back to A149 along existing farm access

22/01648/FM

Slide
No 20

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22/01648/FM

Slide
No 21

22



View over proposed car park and up to the new access point



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Slide
No 22

23



View north/north-east, including part of the proposed car park

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Slide
No 23

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Farm buildings and existing mast

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Slide
No 24

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Further view looking back to the mast from inside the farmyard

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Slide
No 25

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View of the farm buildings to be removed



22/01648/FM

Slide
No 26

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Existing farmhouse close to the main complex





View south from the main complex with proposed play barn to the right



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Slide
No 28

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Vista of field where glamping pods will go. Located adjacent the woodland



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Slide
No 29

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Existing farm cottage. Glamping site off the slide to the left.



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Slide
No 30

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View of where a couple of the glamping pods will be located to the left of the existing temporary structure



22/01648/FM

Slide
No 31

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Looking back to the main complex from the glamping pods





Private farm track leading to the A149 – to be closed
where it meets the A149



22/01648/FM

Slide
No 33

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Photo showing part of new off-road path running along the hedgerow



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Slide
No 34

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Start of cycling skills trails, to the south-east of the
main complex



Speaker James Ellis

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22/01648/FM



Wild Ken Hill Applications Closure of Accesses From Heacham Bottom Farm onto A149

Existing Lamsey Lane Access Retained

1. Existing access onto A149 closed
(for everything other than 4 existing cottages).

2. Existing access onto A149 permanently closed.

3. Existing access onto A149 permanently closed.

..... New proposed off road path linking Heacham and Snettisham

Slide No 36



22/01650/FM

39



40



41



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REVISION B

W.D. KEN HILL

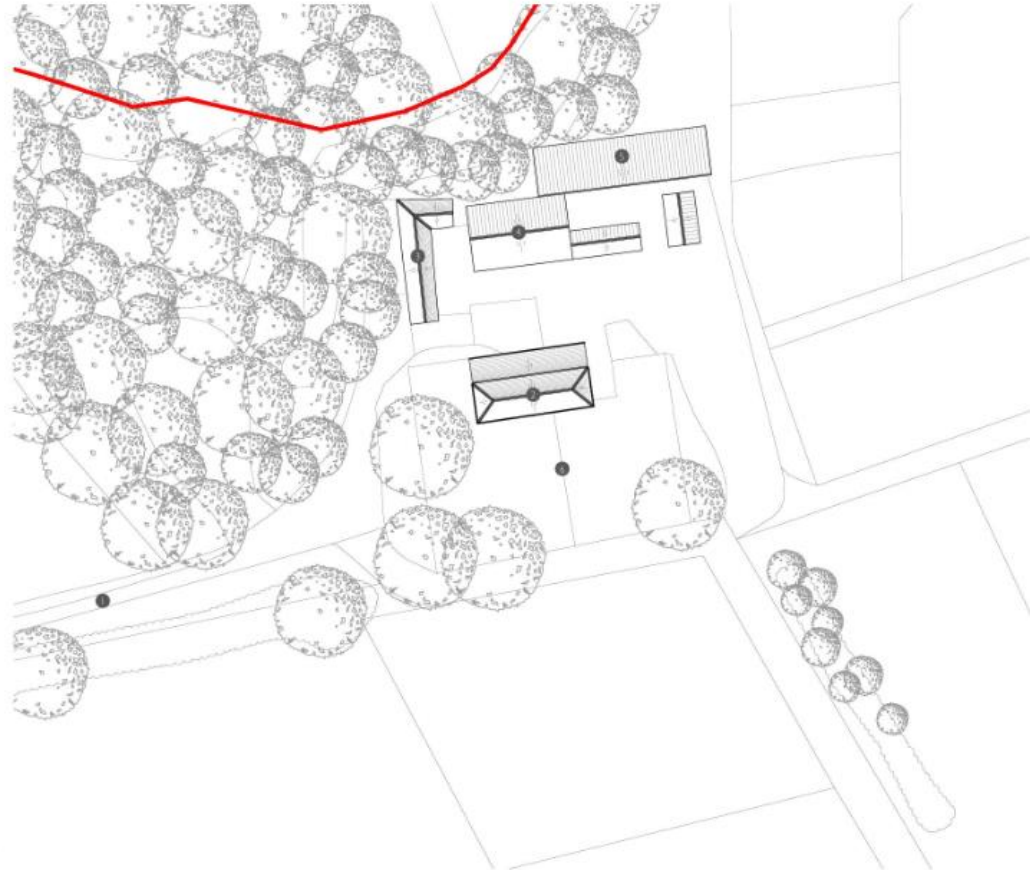
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SITE PLAN_AS EXISTING 1:500 @ A3

Site Plan Key

- 1 Access Track
- 2 Farmhouse
- 3 Office & Stables
- 4 Stables
- 5 Storage
- 6 Garden

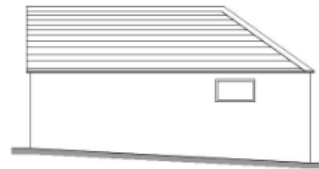


Material Palette

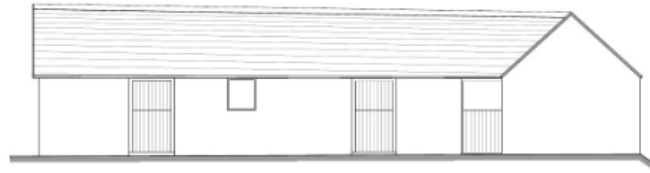
- Walls - Local red brick
- Doors & Windows - Painted timber
- Roof - Red pantile
- Rainwater goods - Black metal

MOUNT PLEASANT
DRAWING PACKAGE
REVISION B
WILD KEN HILL
FEBRUARY 2023
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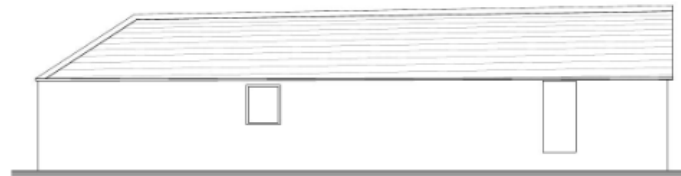
43



North Elevation



East Elevation



West Elevation



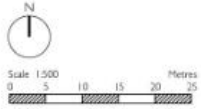
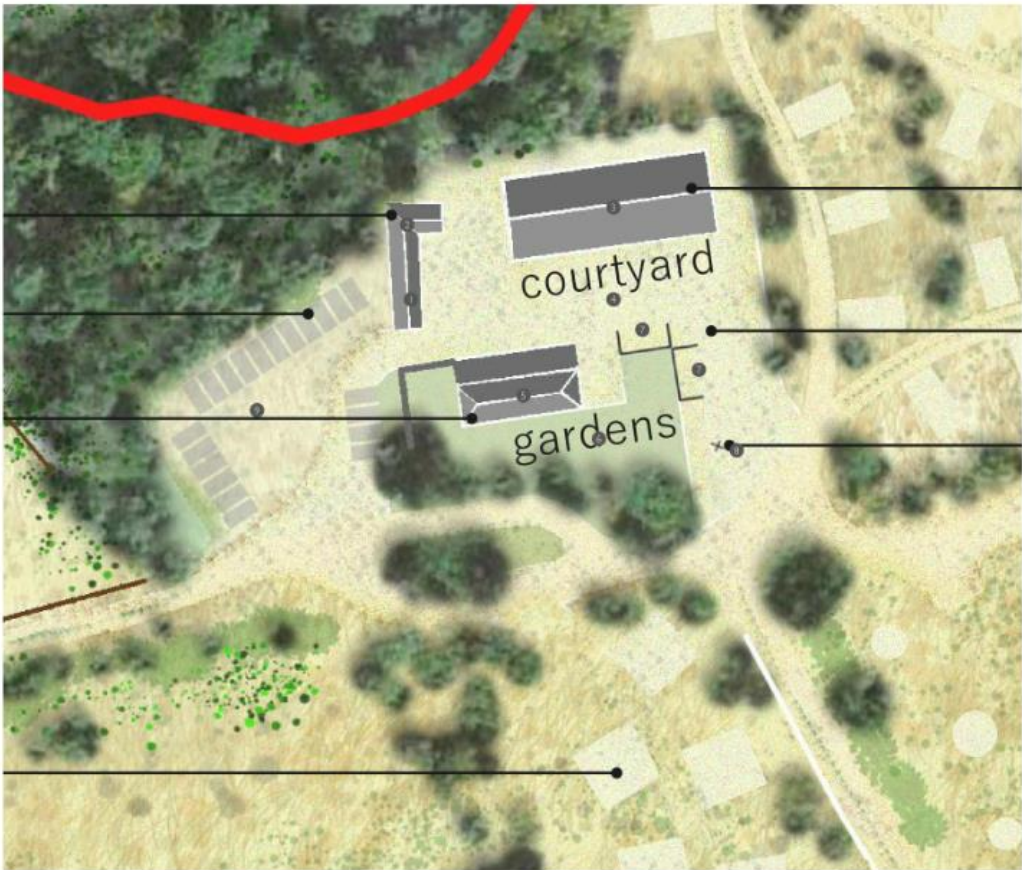
South Elevation



SITE PLAN_AS PROPOSED 1:500 @ A3

Site Plan Key

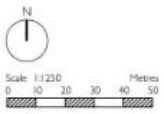
- 1 Reception / Retail
- 2 Storage
- 3 Proposed Utility Building
- 4 Courtyard
- 5 Staff Accommodation
- 6 Gardens
- 7 Refuse Storage
- 8 Black Waste Disposal
- 9 Temporary Parking / Drop-Off



WIDER SITE PLAN_AS PROPOSED 1:1250 @ A3

- Site Plan Key
- 1 Reception / Retail
 - 2 Storage
 - 3 Proposed Utility Building
 - 4 Courtyard
 - 5 Staff Accommodation
 - 6 Gardens
 - 7 Refuse Storage
 - 8 Black Waste Disposal
 - 9 Temporary Parking / Drop-Off
 - 10 Zone 3 - Serviced Handstanding Pitches
 - 11 Zone 4 - Bell Tent Pitches
 - 12 Zone 4 - Mixed Grass Pitches
 - 13 Recreation & Play Area

-  Zone 3 - Serviced Handstanding Pitches - 20 Pitches
-  Zone 4 - Bell Tents - 7 Pitches
-  Zone 4 - Mixed Grass Pitches - 40 Pitches



MOUNT PLEASANT
DRAWING PACKAGE
REVISION B
WILD KEN HILL
FEBRUARY 2022
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45

RECEPTION BUILDING ELEVATIONS_AS PROPOSED 1:100 @ A3

Material Palette

- Walls - Local red brick
- Doors & Windows - Painted timber
- Roof - Red pantile
- Rainwater goods - Black metal

MOUNT PLEASANT

DRAWING PACKAGE
REVISION B

WILD KEN HILL

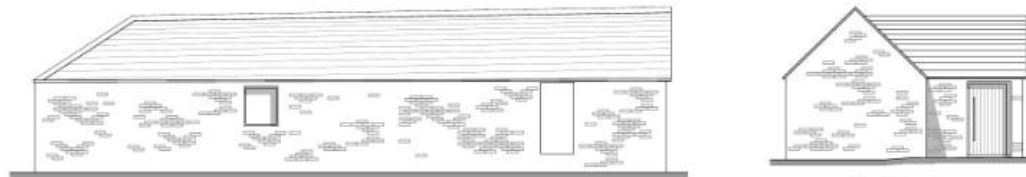
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North Elevation

East Elevation



West Elevation

South Elevation

46

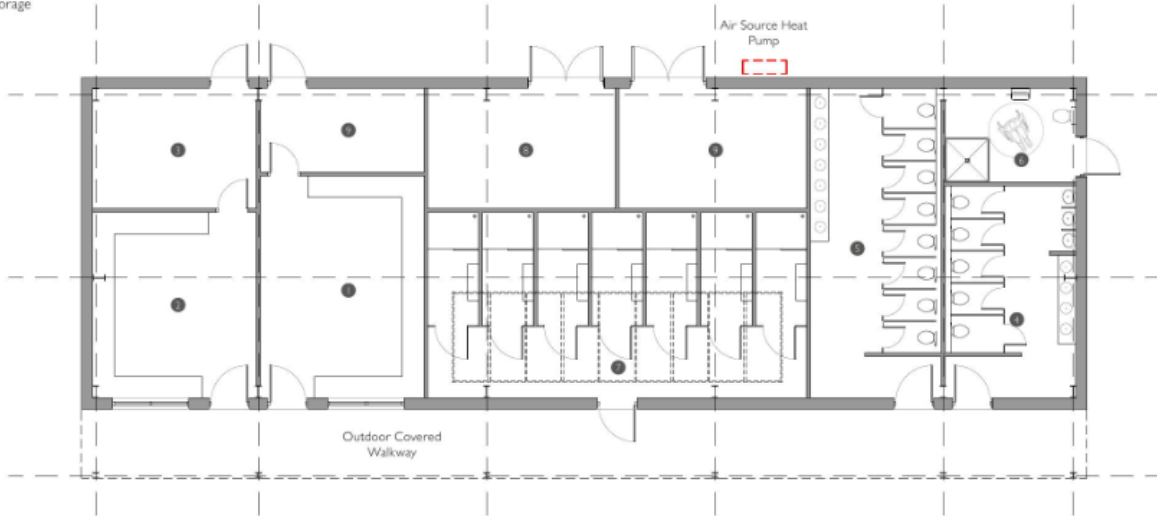


UTILITY BUILDING FLOOR PLAN_AS PROPOSED 1:100 @ A3

Floor Plan Key

- 1 Kitchen / Wash-up
- 2 Utility
- 3 Drying Room
- 4 Male W.C.
- 5 Female W.C.
- 6 Accessible W.C. / Shower
- 7 Showers
- 8 Plant Room
- 9 Storage

Note: Air Source Heat Pump specific size and location to be confirmed

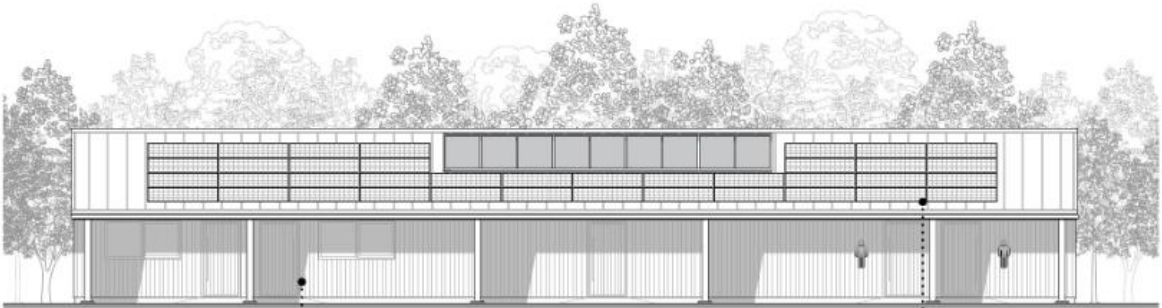


Floor Plan

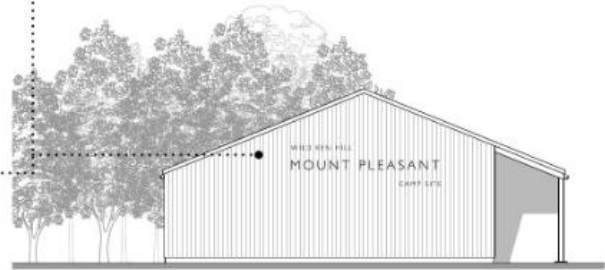


Proposed G.I.F.A. 230 m²

MOUNT PLEASANT
DRAWING PACKAGE
REVISION B
WILD BEN HILL
FEBRUARY 2023
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South Elevation



West Elevation



Vertical profile cladding



Profiled metal roof



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DRAWING PACKAGE
REVISION 3

WILD KEN HILL

FEBRUARY 2023

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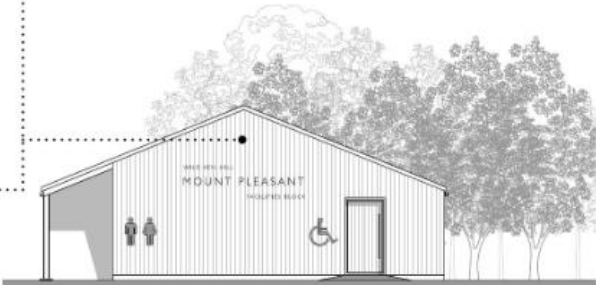
Note: Air Source Heat Pump specific size
and location to be confirmed



North Elevation



Vertical profile
cladding



East Elevation



Profiled metal
roof



22/01650/FM

Slide
No 50

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View down towards the access



22/01650/FM

Slide
No 51

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View from the top of the access across to proposed
reception building



22/01650/FM

Slide
No 52

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View of site of bell tents



22/01650/FM

Slide
No 53

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View west down to Lamsey Lane, with new link between
Snettisham and Heacham along the hedgerow



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Slide
No 54

55



Site of touring caravan pitches

22/01650/FM

Slide
No 55

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Existing equestrian buildings to be removed

22/01650/FM

Slide
No 56

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Farmhouse to be used as staff accommodation

22/01650/FM

Slide
No 57

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Farmhouse and equestrian buildings seen together

22/01650/FM

Slide
No 58

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Grass pitches to the right of the photo



22/01650/FM

Slide
No 59

09



Site of grass pitches on the left



22/01650/FM

Slide
No 60

61



22/01650/FM

Slide
No 61

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View towards the farm/equestrian complex from the touring caravan site



22/01650/FM

Slide
No 62

63



View of extended caravan site to the north



Speaker James Ellis

64



22/01650/FM



Wild Ken Hill Applications Closure of Accesses From Heacham Bottom Farm onto A149

Existing Lamsey Lane Access Retained

1. Existing access onto A149 closed
(for everything other than 4 existing cottages).

2. Existing access onto A149 permanently closed.

3. Existing access onto A149 permanently closed.

..... New proposed off road path linking Heacham and Snettisham

Slide No 64



Wild Ken Hill Applications

Reserved Land for Junction Improvements at A149 / Lamsey Lane Junction

Slide No 65

22/01650/FM



Acknowledging the future ambition for improvements at the A149 / Lamsey Lane junction, Wild Ken Hill offers the reservation of land it owns for future junction improvements, as part of the planning application for Heacham Bottom Farm.

The following restrictions are proposed for a Legal Agreement / Planning Conditions:

i) The owners shall make the land to the north, south, east and west of the A149/Lamsey Lane junction (as shown on the accompanying plan) available to Norfolk County Council Highways (NCC) for a period of 15 years from Commencement of Development.

ii) The owners shall not seek any alternative use of the land (as shown on the accompanying plan) other than the existing agricultural use or use shown on the approved Landscape Masterplan, for a period to 15 years from the Commencement of Development."

 Reserved Land for Junction Improvements (additional land available if required).

NB. Map shows land in ownership in beige

21/01607/O

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Informations:
 This drawing has been produced for indicative purposes only. A site survey has not been undertaken and measurements should be treated as approximate.
 This drawing should not be reproduced or copied without the consent of Land Promotions and Development Ltd.

Site Address: Caravan site at
 West Lee, Swan Lane
 Plan Ref: H00179-1
 Date: June 2021
 Description: Location Plan
 Scale: 1:1250 (A3)



Registered in England & Wales under company registration no. 08282020
 Registered Address: 50-51, The Oldfield, Colchester, Essex, CO1 1JH, UK
 Director: Sarah Page



21/01607/O

Slide
No 70

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Looking North along Town Lane



21/01607/O

Slide
No 71

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Looking south - entrance to site on left



21/01607/O

Slide
No 72

73



North boundary of site



21/01607/O

Slide
No 73

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North boundary and parking area to existing dwelling



21/01607/O

Slide
No 74

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West elevation of house and proposed
driveway



21/01607/O

Slide
No 75

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Looking north along proposed driveway



21/01607/O

Slide
No 76

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Existing dwelling and Plot 1

21/01607/O

Slide
No 77

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View of South east and south boundary
across Plots 1 and 2



21/01607/O

Slide
No 78

79



View south and proposed driveway adj. hedge

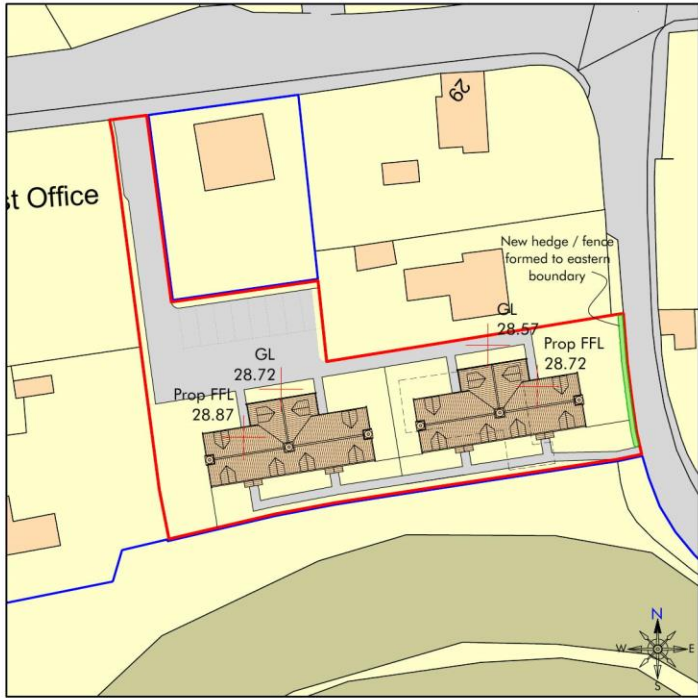


22/02256/F

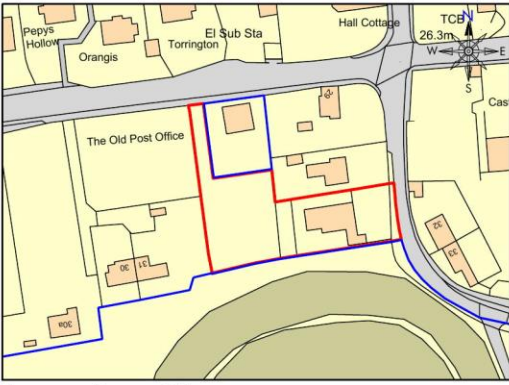
80



81



Site Plan (1:500)



Location Plan (1:1250)

PRELIMINARY DRAWING
 Subject to Planning & Building Control Approval

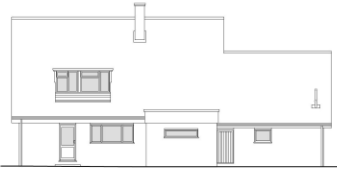
WAITE & Wallage
 ARCHITECTS LTD.
 incorporating **RICHARD C F WAITE ARCHITECTS**

This drawing is subject to amplification from further construction information. Any discrepancy found on drawing to be notified to Architect immediately. All foundations to be modified to suit ground conditions & structural requirements after site investigation by others. No dimensions or sizes to be scaled from this drawing. All sizes or dimensions to be checked before construction. This drawing is copyright & must not be copied without consent.

Proposed Cottages on site of 'Flintstones' Lynn Road Castle Rising Site & Location Plans	Paper Size: A3	PLANNING
	Drawn: DCRW	3/412/1A
	Date: Nov. '22	
info@wwaltd.co.uk	(01553) 772656	www.wwaltd.co.uk



East Elevation (1:100)



North Elevation (1:100)



West Elevation (1:100)

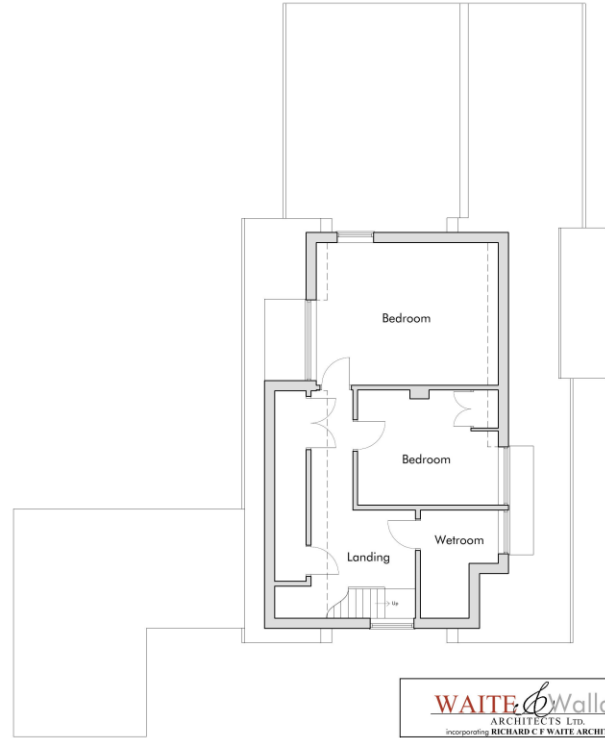


South Elevation (1:100)

82



Ground Floor Plan (1:100)



First Floor Plan (1:100)



Survey Notes

- All levels and coordinates relate to a GPS derived datum. Control was established using Ordnance Survey's Active GPS Network OSG636. Translated from ETRSS0 using OSGM'S and OSTN15 models. Positions were recorded using Trimble RT12 GPS RTK equipment using the VRS correction service. Control station information may not be shown on this drawing, please contact Plandescil Ltd should you require assistance.
- All levels shown adjacent to mark lines have been taken at chosen line unless stated otherwise.
- Not all existing services are necessarily shown on this drawing. All services that could be located at the time of the survey have been positioned but should be taken as approximately and used as a guide to their presence. Clarification of all underground routes should be confirmed by the individual service provider and prior to project construction.
- Land ownership boundaries and legal title extents have not been identified in this survey. Survey mark lines have been surveyed at post positions and changes of direction. Hedgelines located at face or top of main stem, see drawing note to specify.
- Not all trees have been surveyed, trees shown as below have been seen by trunk position. Level relates to ground at base of trunk.
 - Example of surveyed tree, species not recorded unless stated. Trunk diameter shown to scale, average canopy spread surveyed and plotted to scale.
 - Areas of dense trees and vegetation have not been shown by the approximate ground coverage and have no trunk positioning.
 - Areas of non surveyed planting, positions shown indicatively only or perimeter surveyed where level information is present.
- This survey has been merged with Ordnance Survey Master Map Data. Boundaries and physical objects have only been fixed where level information is present. See Licence details No. AL00000007 All Ordnance Survey mapping is subject to their own accuracy and tolerances.
- The information presented in this survey is a recording of what was present and accessible at the time of survey. Areas of the site not surveyed are represented by Ordnance Survey mapping.
- The original survey drawing is produced to scale, printed copies to be scaled at users risk. If any plotted dimensions are not clear please contact Plandescil Ltd for assistance.

Survey Control Station Table

Station Ref	Agency	Heading	Easting	Northing	Point ID	Description
POC1	569822-038		324922.280	27.19	Survey Net	
POC2	569807-748		324955.047	26.56	Survey Net	

See notes for description of site datum and axis

Rev	Date	By	Chk'd	Description

plandescil
consulting engineers

Company Regd: Aftonbridge, Norfolk NR17 2BW
Telephone: (01603) 620071 Fax: (01603) 620055
E-mail: enq@plandescil.co.uk www.plandescil.co.uk

civil / structural / environmental / surveying

Client
Waite & Wallage Architects Ltd

Project
**Flintstones
Lynn Road, Castle Rising
PE31 6AH**

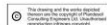
Drawing Title
Topographical Survey

Scale	UKS	Date	Drawn By
1:200	(A1)	June 2022	RW
Drawing No	28332/001		Rev
			0



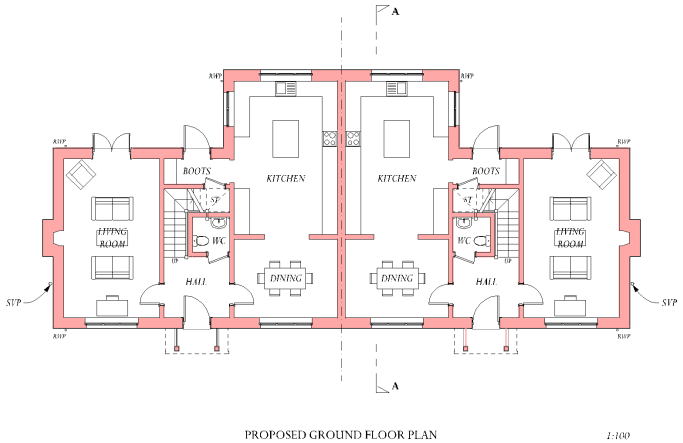
22/02256/F

83



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Adjacent Properties and Structures are shown for illustrative purposes only and have not been surveyed unless otherwise stated.
 All site dimensions approximate and liable to vary without limiting the basis of a decision.
 The scale is other than the Planning Application number.
 All dimensions must be checked by the contractor before commencing work on site.
 Notation on this drawing will be permitted to void the plan unless corrected by the Architect.
 The copyright of this drawing remains with the Architect and may not be reproduced in any form without prior written consent.
 Ground Floor Plans, Floor Levels, Sections, etc. All must be on ground level unless previously specified or indicated otherwise in a schedule prior to work commencing.
 Measurements are given when the ground conditions are uneven, and such may be necessary in the light of soil conditions found. The responsibility for establishing the soil and subsoil conditions rests with the contractor.

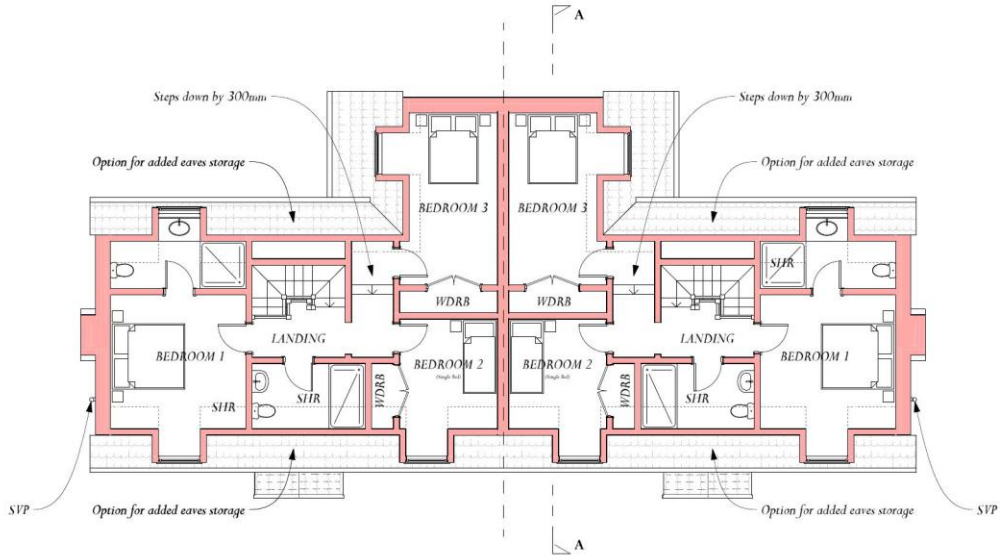


Client: **West Norfolk**
 Project: **22/02256/F**

Rev	Date	Description	Initials
PROJ		Client Briefing	
		Proposed Collages	
TITLE		Proposed Ground Floor Plan	
SCALE		1:100 @ A3	
DATE		March 2022	
DRAWING		22/02256/F/01-A	
DRAWN BY		LS, DF	

ADAM ARCHITECTURE
 OLD HUNDE HOUSE, 34 HUNDE STREET
 WINDHILL, NORWICH, NR11 1PW, TEL: 01603 848013
 WEST WING, SOMERSET HOUSE, STRAND
 1, OLD DUN, WICKHAM, W. 1, 1, 010 7433 0146
www.adamarchitecture.com adam@adamarchitecture.com

85



PROPOSED FIRST FLOOR PLAN 1:100

Adjacent Properties and Boundaries are shown for illustrative purposes only and have not been surveyed unless otherwise stated.
 All areas shown are approximate and should be verified before forming the basis of a decision.
 Do not scale other than for Planning Application purposes.
 All dimensions must be checked by the contractor before commencing work on site.
 No deviation from this drawing will be permitted without the prior written consent of the Architect.
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 Ground Floor Slabs, Foundations, Sub-Structures, etc. All work below ground level is shown provisionally. Inspection of ground condition is essential prior to work commencing.
 Reassessment is essential when the ground conditions are apparent, and redesign may be necessary in the light of soil conditions found. The responsibility for establishing the soil and sub-soil conditions rests with the contractor.



1. A notice is submitted.
 Certificate of the architect (see including final stage).
 Description and address of the premises.
 Illustration of one plan of Section 6.5.

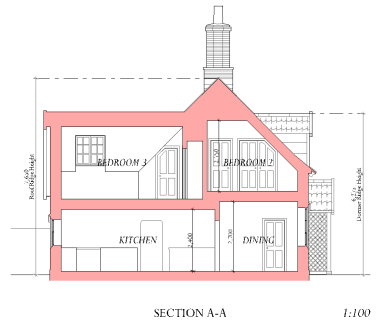
Rev	Date	Description	Initials
PROJECT		Castle Rising Proposed Cottages	
TITLE:		Proposed First Floor Plan	
SCALE:		1:100 (A3)	
DATE:		March 2022	
DRAWING No:		S152/PL05-A	
DRAWN BY:		IS, DY	

ADAM ARCHITECTURE

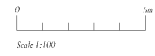
OLD HYDE HOUSE, 75 HYDE STREET
 WINCHESTER, HANTS, SO23 7DW, TEL. 01962 845843

WEST WING, SOMERSET HOUSE, STRAND
 LONDON, WC2R 1LA, TEL. 020 7841 0140

www.adamarchitecture.com contact@adamarchitecture.com

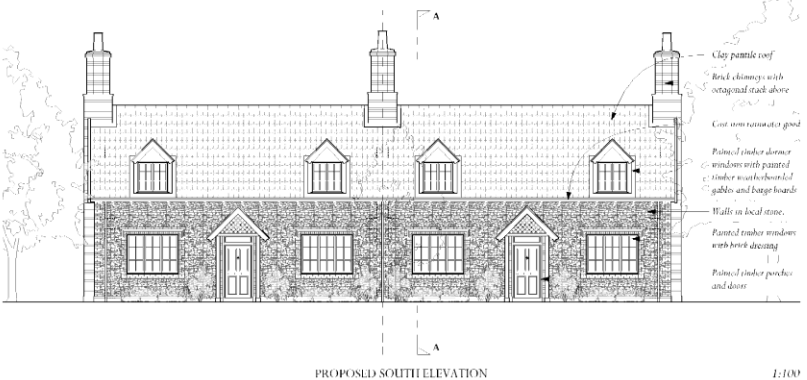


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 All site dimensions approximate and liable to vary to the following tolerance of 3.000mm.
 Do not scale off this Plan for Planning Application purposes.
 All dimensions must be checked by the contractor before commencing work on site.
 Section lines from this drawing will be provided to the relevant parties on request of the Architect.
 The copyright of this drawing remains with the Architect and may not be reproduced in any form without prior written consent.
 Ground Floor Slabs, Foundations, Substructures, etc. All work below ground level is shown provisionally, irrespective of ground conditions or ground level prior to work commencing.
 Excavations are shown when the ground conditions are uncertain, and may not be necessary in the light of soil conditions found. The responsibility for establishing the soil and subsoil conditions rests with the contractor.



Rev	Date	Description	Initials
PROJECT		Cedar Rising Proposed Cottages	
TITLE:		Proposed Section A-A	
SCALE:		1:100 @ A3	
DATE:		April 2022	
DRAWING No:		2412/PL/0	
DRAWN BY:		IS	

ADAM ARCHITECTURE
 OLD HYDE HOUSE 34 HYDE STREET
 WINDHILL, HAZEL, SOUTHWICH, L4 0JQ, 01603 84013
 WEST WING, SOMERSET HOUSE, STRAND
 1, OLD DUN, WICKHAM, L4 1 1L, 01603 2433 0146
www.adamarchitecture.com info@adamarchitecture.com

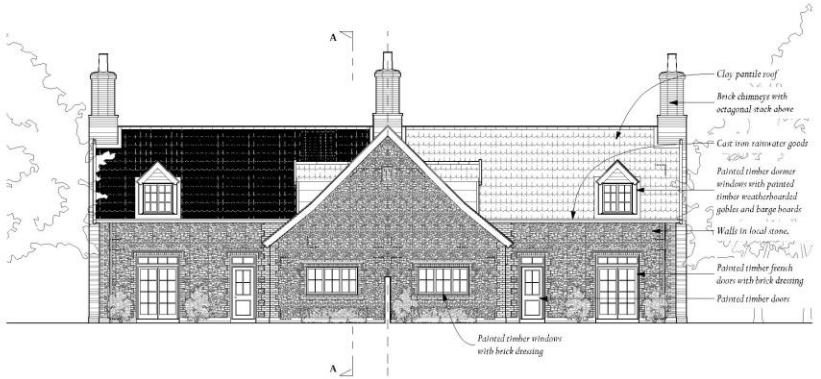


Approved Proposals will be made available for public inspection, subject to the usual conditions of access to the public. All other drawings are preliminary and subject to the usual conditions of access to the public. The drawings are not to be used for any other purpose without the written consent of the Planning Applications Department. All drawings are made to the best of the architect's knowledge and belief. No guarantee is made by the architect as to the accuracy of the drawings. No responsibility is accepted by the architect for any errors or omissions in the drawings or for any consequences arising therefrom. The architect's liability is limited to the amount of the fee. The architect's liability is limited to the amount of the fee. The architect's liability is limited to the amount of the fee.



Rev	No	Description	Date
PROJ	1	Complete	
PROJ	2	Proposed Cottages	
TITLE		Proposed South Elevation	
SCALE		1:100 (A)	
DATE		March 2017	
DRAWING		South Elevation	
DRAWN BY		LS, DR	

ADAM ARCHITECTURE
 OLD HIND HOUSE, 74 HIND STREET
 WIMBORNE, DORSET, SOUTH ISLE, DT9 9JH
 WEST WING, SOMERSET HOUSE, 21 BRAND
 LODGE, WIMBORNE, DORSET, DT9 9JH
 www.adam-architecture.co.uk



PROPOSED NORTH ELEVATION

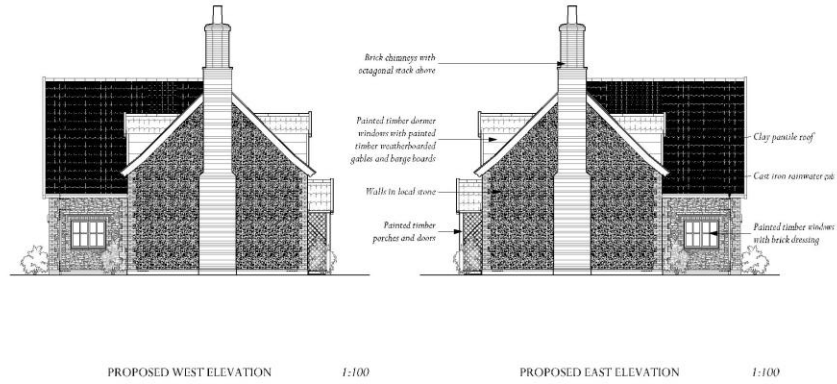
1:100

Adjacent Properties and Structures: are shown for illustrative purposes only and have not been corrected into other drawings.
 All site details are approximate and should be checked before starting the work of construction.
 The work is subject to the Planning Authority's consent.
 All dimensions should be checked by the contractor before commencing work on site.
 No variation from this drawing is to be permitted without the prior written consent of the architect.
 The copyright in this drawing remains with the architect and any use or reproduction in any form without prior written consent.
 General: Floor Slabs, Foundations, Substructures, etc. shall have been ground level or above ground level, as indicated or as otherwise indicated prior to work commencing.
 Materials: Materials to be used in the ground shall be as specified, and shall be subject to necessary tests in the light of soil conditions found. The responsibility for establishing the soil and subsoil conditions rests with the contractor.



Rev A: Floor Description Initials
 PROJECT: Castle Rising Proposed Cottages
 TITLE: Proposed North Elevation
 SCALE: 1:100 @ A3
 DATE: March 2022
 DRAWING No: CH12/PL08-A
 DRAWN BY: TK, DY

ADAM ARCHITECTURE
 OLD WYDE HOUSE, 74 WYDE STREET
 WIDORBY LANE, HAZEL, SOUTH DOW, 124 0590 840 853
 WEST WING, SOMERSET HOUSE, 31 BRAND
 1, COLLEGE WALK, WEST NORFOLK, NR11 1AB, 01263 2411 0149
 www.adam-architecture.com, info@adam-architecture.com



Adjacent Properties and Structures: drawings show the illustrative proposals only and have not been corrected into a formal plan.
 All site drawings are approximate and should be treated as indicative drawings. The basis of a 1:100 scale.
 The scale is not to be used for Planning Application purposes.
 All dimensions should be checked by the contractor before commencing work on site.
 No liability is taken for this drawing to the extent that the contractor is not responsible for the accuracy of the drawings.
 The copyright of this drawing remains with the architect and may not be reproduced in any form without prior written consent.
 General Floor Plans, Foundations, Substructures, etc. All work to be carried out in accordance with the relevant Building Regulations and other applicable laws and regulations.
 No responsibility is accepted for the ground conditions or any adjacent and adjoining structures in the light of soil conditions. It is the responsibility of the contractor for establishing the soil and subsoil conditions and to treat the contractor.



Rev A: The Description Initials
 PROJECT: Castle Rising
 Proposed Cottages
 TITLE: Proposed West & East Elevations
 SCALE: 1:100 @ A3
 DATE: March 2022
 DRAWING No: 112/PLP/NA
 DRAWN BY: TK/DY

ADAM ARCHITECTURE
 OLD HYDE HOUSE, 74 HYDE STREET
 WIDORSHUR, BA2 3Y, SOUTH DEVON, TEL: 01802 420453
 WEST WING, SOMERSET HOUSE, 31 BRAND
 CROSSING, 90 CANTON, 1, 1ST, 870 2411 0140
 www.adam-architecture.com, info@adam-architecture.com

22/02256/F

Slide
No 89

06



South elevation as viewed on approach from Lynn Road

91



Existing cottages facing





South boundary hedgerow, trees in background





View of south elevation from inside the site

22/02256/F

Slide
No 93

94



North elevation & neighbouring dwelling



22/02256/F

95

Slide
No 94



West elevation of existing bungalow, castle in background



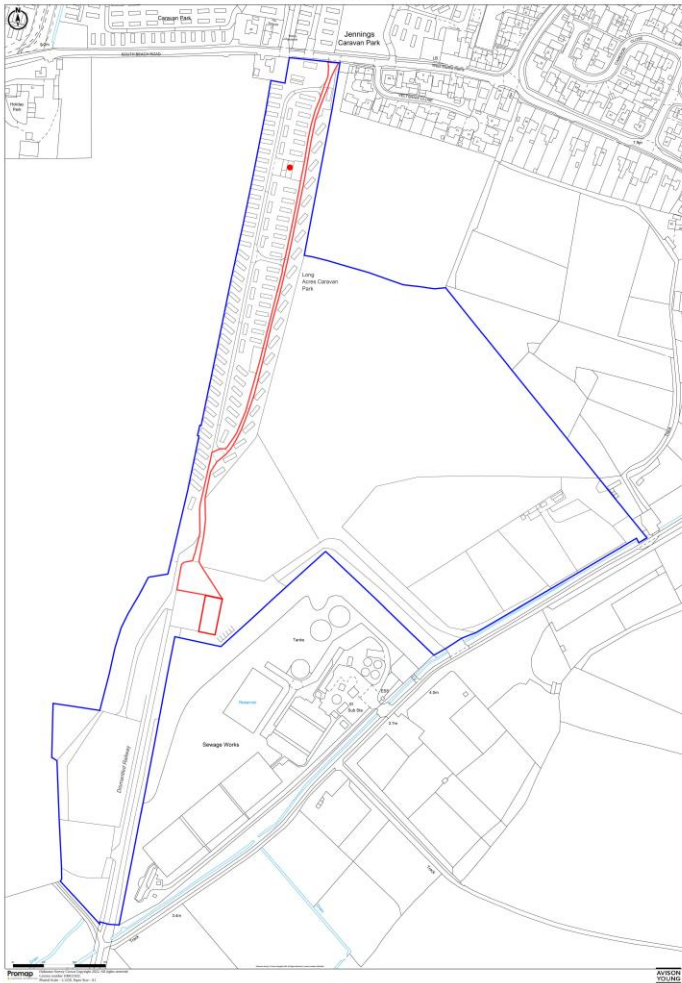


View towards Castle Rising from rear garden area



22/01774/F





22/01774/F

Slide
No 100

101



Existing storage building and yard





Platform and hardstanding

22/01774/F

Slide
No 102

103



Existing track running to west of site



22/01774/F

Slide
No 103

104



North boundary of site



22/01774/F

Slide
No 104

105



View from site access towards caravan park (north)



22/02113/F

106



22/02113/F

107



Existing Site Plan
Scale 1:200



3 Ermoor Court, Burreham Market, Norfolk, PE31 8FD
Tel: 01263 738239
Web: www.strataarchitecture.com

Project:
Terms
49 Peddars Way
Holme next the Sea
PE36 6LD
Title:
Extension and Alterations to Dwelling
Existing Site Plan

Scale(s): As shown @ A2 Date: 28.07.2021

Drawn: EA Checked: JL

Drawing issued for: Planning

Drawg No: 571-100 Rev: -

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All dimensions must be checked on site by the Contractor.



Rev.	Date	Description	Drawn
A	07.07.21	Site levels to remain as existing	JN
B	28.07.21	Roof windows and dimensions	JN
C	28.09.2021	Drawing updated to suit Comments	EA
D	01.01.2022	Drawings updated	EA

Slide No 107



Proposed West Elevation
Scale 1:100



Proposed North Elevation
Scale 1:100

Materials

- Roof - Red clay paniles
- Fascias - Grey to proposed and replace existing
- Walls - Grey Marley Cedral Boarding
- Walls - Off-white render to existing walls
- Timber - Post to support first floor
- Roof Windows - Anthracite Grey to proposed
- Windows & Doors - Anthracite Grey to proposed and replacing existing

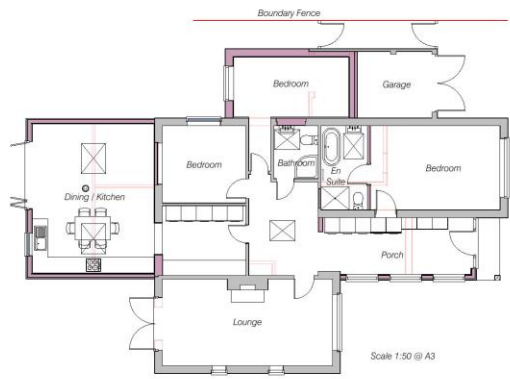


Proposed East Elevation
Scale 1:100

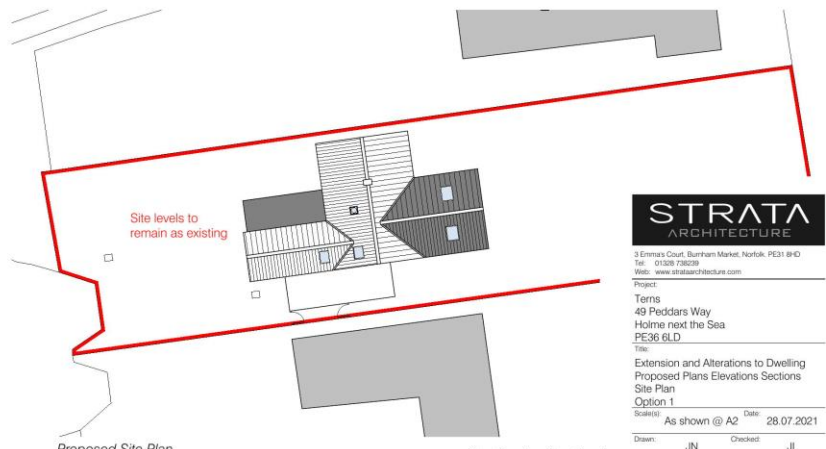


Proposed South Elevation
Scale 1:100

108



Proposed Ground Floor Plan
Scale 1:100



Proposed Site Plan
Scale 1:250



3 Ermoor Court, Burnham Market, Norfolk, PE33 8HD
Tel: 01263 736239
Web: www.strataarchitecture.com

Project:
Terms
49 Peddars Way
Holme next the Sea
PE36 6LD
Title:
Extension and Alterations to Dwelling
Proposed Plans Elevations Sections
Site Plan
Option 1

Scale(s): As shown @ A2 Date: 28.07.2021

Drawn: JN Checked: JL

Drawing issued for: Building Regulation

Draw No: 571-02 Rev: -

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22/02113/F

Slide
No 108

109



Front of Terns showing extension behind garage

22/02113/F

Slide
No 109

110



Northern front boundary of the site

22/02113/F

Slide
No 110

1
1
1



View from neighbouring site No.51 to the south

22/02113/F

Slide
No 111

112



View of dwelling in the street scene

22/02113/F

Slide
No 112

113



Wider context view of application site



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22/02113/F

116



Slide
No 115



22/02113/F

Slide
No 116

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Separation between extension and No.51 from the rear side



22/02113/F

Slide
No 117

118



Separation between extension and No.51 from the front side

Speaker Sandra Betterton

119



22/02113/F

**My two windows are clearly seen on left hand side
The gap between the two properties: 0.83m on my
side and approximately 1m on No 49**

Slide No 119

120



The overbearing and dominant impact of the new extension one of my rooms

121



- Difference of height between the newly built garage and the new extension.



In Summary

- Inaccuracies in measurements
- Reduction in natural light
- Dominating and overbearing impact on neighbour amenity
- Effect the whole process has had on our wellbeing

123



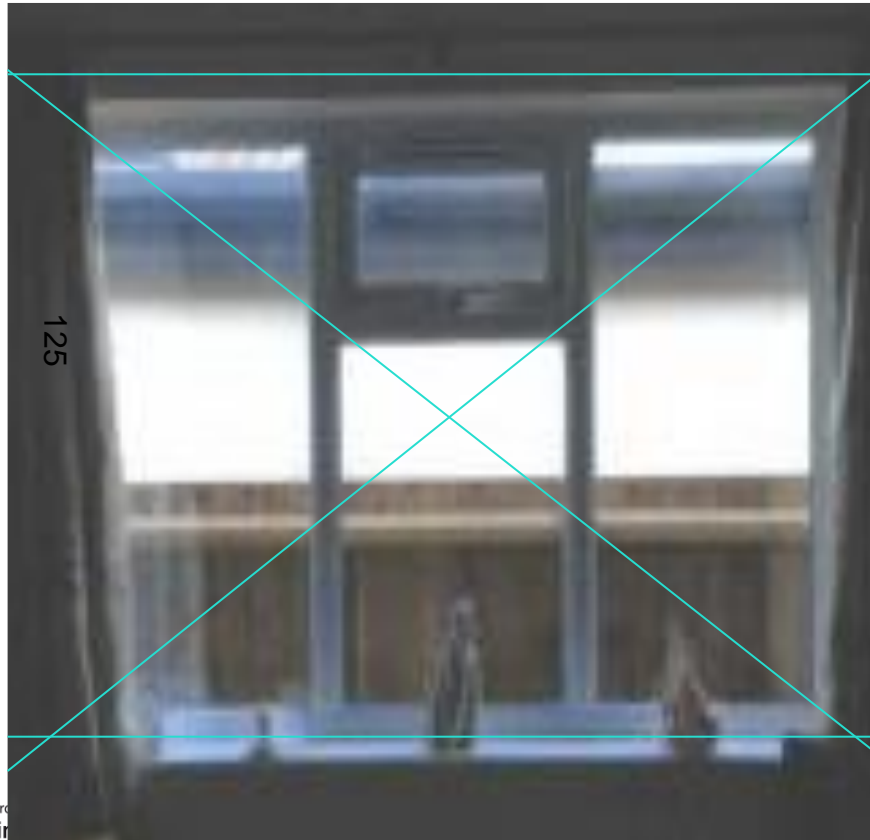
Speaker Lynn Devereux

124



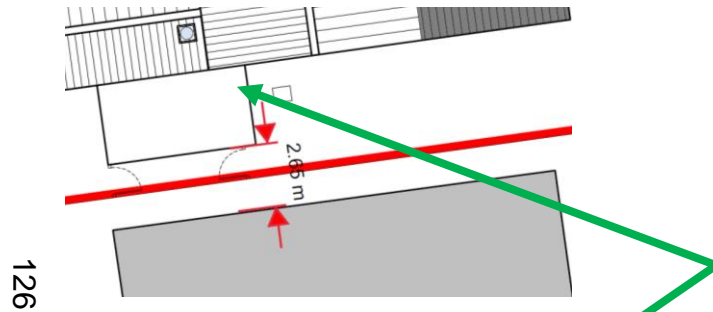
CURRENT SITUATION

22/02113/F

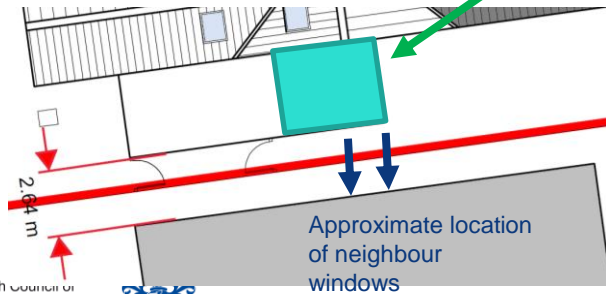


- This application involves an extension that has been built without planning permission.
- It includes a wall constructed 1.8 metres from the living room windows of their neighbour.
- The wall is topped by guttering and eaves which narrow the gap to 1.45m.
- The wall has obscured the sky from the snug and substantially reduced light levels.
- Loss of light and privacy is limiting the way these rooms can be used.

HOW HAS THIS SITUATION ARISEN?



- Approved drawings for the development show a gap between the buildings of 2.65m - but this is not what was built.
- The existing garage was rebuilt and a higher extension was added to the rear without planning permission.
- This resulted in a wall across the neighbour's north facing, living room windows.
- Crucially, the wall is only 1.8m away from these windows – not 2.6m as the Applicants' drawings indicate.
- In terms of size and position, the **entire development along the south side** of Terns is not built in accordance with the approved plans.



DO THE INCORRECT MEASUREMENTS MATTER ? - ABSOLUTELY!!

Slide No 126

22/02113/F

127

- The Officer's Report takes the drawings as correct and assumes a gap of 2.6m.
- Given the importance of protecting Neighbour amenity this figure was used by the LPA to check impact on light levels using established guidance.
- With a separation of 2.6m the guidance indicates neighbour amenity is unlikely to be affected with regard to light levels.
- With a separation of 1.8m and the presence of eaves there is a negative impact.



SOUND POLICY BASIS FOR REFUSAL

22/02113/F



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- SADMP Policy DM15 requires neighbour amenity to be protected.
- NDP Policy HNTS 11 requires that (i) development provides appropriate separation from boundaries to maintain gaps which respect neighbour amenity and (ii) is not detrimental by virtue of overshadowing or overlooking resulting in loss of light or privacy.
- NPPF Chapter 12 provides solid context for these policies.
- The images show very clearly that this development does not comply with these policies.
- The gap is not much more than the size of many flat screen TVs.
- Are we to accept this development is reasonable and complies with planning policy? If approved what kind of message would this send out?



Speaker John Peters

129



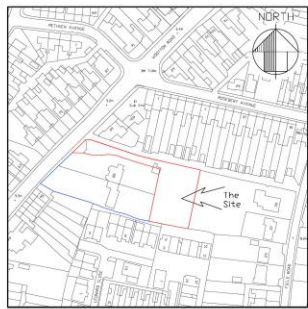
130



22/01886/O

131





LOCATION MAP 1:1250.

SITE PLAN 1:200.

The site has not been surveyed and existing features are only indicative.

Drawings Indicative Only as All Matters Reserved For the Outline Planning Application.



FOR CONSTRUCTION PURPOSES Drawings to be read in strict accordance with the specification. Measurements and levels to be checked on site by the Contractor prior to commencement of works. Any discrepancies to be referred to the designer.

Matt Sturgeon Ltd.
BUILDING CONSULTANCY
MONEY PLUDGE | NURSERY LANE | NORTH WOOTTON
KING'S LYNN, NORFOLK, PE30 2QR, (01553 87089)

PROPOSED DEVELOPMENT
REAR OF 306 WOOTTON ROAD
KING'S LYNN

PROPOSED:
SITE PLAN AND LOCATION MAP.

OCTOBER 2022	1562-02a
--------------	----------

© 2022. Amended to (B). Drawings.
156202a. Heights indicated to northern boundary.

22/01886/O

133



Slide
No 132





View from access south



135



View from access north, showing proposed access position



22/01886/O

Slide
No 135

136



Garage to be removed for access





View from rear elevation of No.58 towards site





Rear elevation of donor dwellings, viewed from 58

22/01886/O



139

Rear elevation of donor dwellings, viewed from 58a



Rear elevation of donor dwellings, viewed from 58

22/01886/O



141

South boundary of site

22/01886/O

142

Laneway to north, existing garage to be demolished





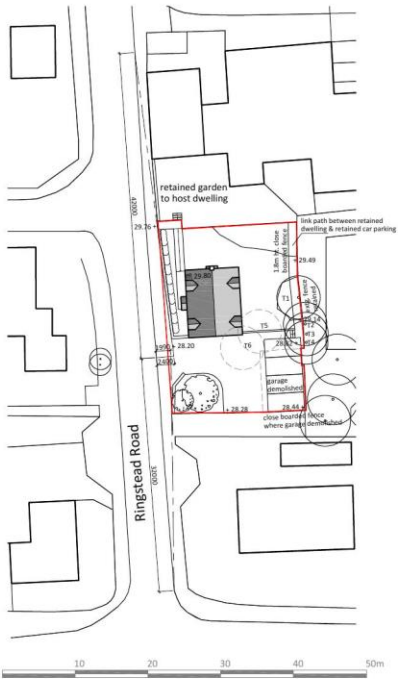
143

View from laneway to the north, boundary vegetation to be retained via condition

22/01329/F

144





block & roof plan 1:500
 This drawing has been based on Ordnance Survey data and may duplicate errors thereon & is for planning purposes only. All levels to remain as existing unless otherwise stated



location plan 1:1250
 Map data reproduced from Ordnance Survey National Geographic Database © Crown copyright. OS 100031961 National Map Centre. Purchased 17/01/2022 1 year licence.

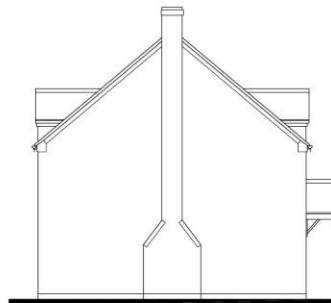


22/01329/F

146



west/road elevation 1:100
 Elevations - Norfolk red brick rubble flint or chalk or coursed carrstone
 Roof - Clay pantiles to main roof and clay plain tiles porch canopy



north elevation 1:100



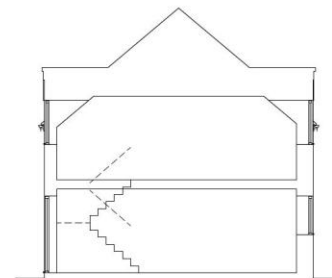
east elevation 1:100



ground floor plan 1:100



first floor plan 1:100



section 1:100

22/01329/F



147



22/01329/F

Slide
No 147

148



Views on existing access and boundary wall



22/01329/F

Slide
No 148

149



22/01329/F

Slide
No 149

150



Views of the neighbouring property to the south



22/01329/F

Slide
No 150

151



Views on Ringstead Road to the west



22/01329/F

Slide
No 151

152



Existing steps linking School House to the parking area



22/01329/F

Slide
No 152

153



Amenity space serving School House



22/01329/F

Slide
No 153

154



Amenity space serving School House



22/01329/F

Slide
No 154

155



Views of School House looking north



22/01329/F

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Hedging positioned to the west to be removed



22/01329/F

Slide
No 156

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22/01329/F

Slide
No 157

158



View north from access with site to right.



22/01893/F

159











Site Plan
Scale: 1:200



Location Plan
Scale: 1:2000

SITE PLAN KEY

-  Indicates proposed buildings
-  Indicates existing buildings to be retained
-  Indicates on-schedule buildings where base CE map
-  Indicates on-schedule buildings/features to be demolished
-  Indicates approximate position of boundary lines and hedgerows
-  Indicates site access

CONSTRUCTION DESIGN & APPROVAL REGULATIONS 2013

The following information must be read in conjunction with the project files register. The drawings highlight significant design related health & safety issues covered by Construction Design & Management (CDM) regulations. Construction Design & Safety Issues associated with Construction Activities may be present, and must be detailed by the Principal Contractor prior to the commencement of work. Hazardous design elements must be identified by the relevant specialist designers/consultants and issued to the Principal Designer.

Revisions

A	Feb 23	Boundary Treatment Added
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FOR APPROVAL

SWANN EDWARDS ARCHITECTURE

Swann Edwards Architecture Limited, Swann Edwards Architects, Stoke Newington, 100 Stoke Newington, London, Greater London, N16 7JH
 020 7353 8100 | www.swannedwards.co.uk

As-Filed Proposed Residential Development at Higher Oak, Stoke Road, Worham, Clonham Market, Fife, UK, G64	Issue October 2022	Revision No. 02	Drawn by GT
Drawn by Planning Drawing Location Plan & Proposed Site Plan	File No. SE-1626	Issue No. PP3000	Sheet Size A1

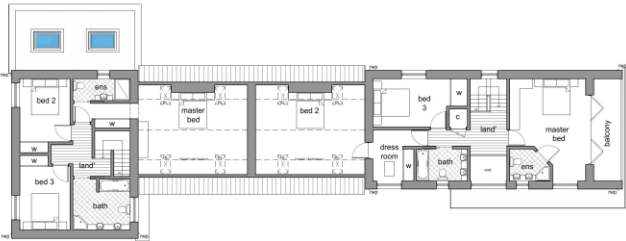
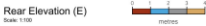
PLOT 1 & 2



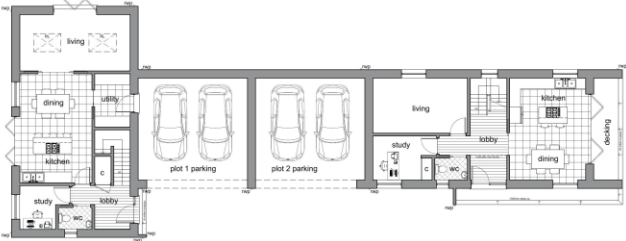
Front Elevation (W)



Rear Elevation (E)



First Floor Plan



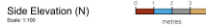
Ground Floor Plan



Side Elevation (S)



Side Elevation (N)



General Notes:
 1. All dimensions are shown in 'feet' unless otherwise stated.
 2. The contractor and suppliers must verify all dimensions on the ground to the commencement of any work.
 3. This drawing is to be used in conjunction with all relevant regulations and specialist sub-contractors' drawings and specifications.
 4. Any discrepancies are to be brought to the designer's attention.

CONSTRUCTION DESIGN & APPROVAL REGULATIONS 2013
 The following information relates to the construction of the proposed building. The drawings highlight significant design-related health & safety issues covered by the Construction (Design & Management) Regulations 2013 (CDM 2013). Other health & safety issues associated with Construction Activities may be covered, and must be detailed by the Project Contractor prior to the commencement of any work. The design team has provided the following information to assist the relevant specialist designers, consultants and those involved in the proposed development.

ELEVATIONS KEY

- Includes proposed external cladding
- Includes proposed backboard
- Includes proposed zinc roof
- Includes proposed aluminium framed glass

FOR APPROVAL



Proposed Residential Development at Hopton Oak, Stone Road, Wanshan, Downham Market, Norfolk, UK	Issue To: October 2022	Drawn By: GJ
Client: The Planning Director, Plot 1 & 2 Floor Plans & Elevations	File No: SE-1606	Sheet No: A1
	Drawn By: GJ	Scale: 1:100



Side Elevation (E)
Scale: 1:50
metres



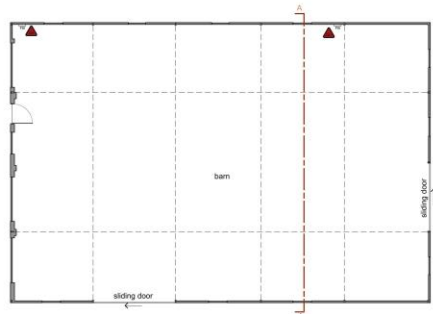
Front Elevation (N)
Scale: 1:50
metres



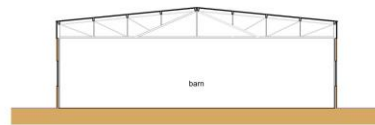
Side Elevation (W)
Scale: 1:50
metres



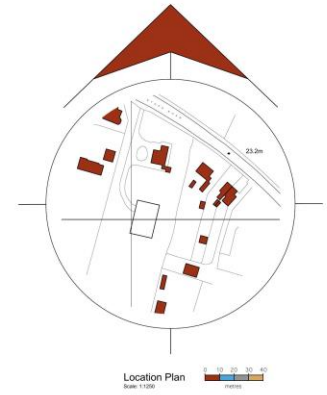
Rear Elevation (S)
Scale: 1:50
metres



Floor Plan
Scale: 1:100
metres



Section A-A
Scale: 1:50
metres



Location Plan
Scale: 1:250
metres



Site Plan
Scale: 1:500
metres

GENERAL NOTES

1. All dimensions are shown in feet unless otherwise stated.
2. The contractor shall construct and fixtures their work at all dimensions on the plans or the interpretation of the same.
3. This drawing is to be read in conjunction with all relevant engineering and decorative site contracts, drawings and specifications.
4. Any discrepancies are to be sought in the drawings shown.

CONSTRUCTION DESIGN & MANAGEMENT REGULATIONS 2015

The following information must be read in conjunction with the general plan register. This drawing highlights significant design related health & safety risks relevant to the construction phase and the construction of the proposed construction. Other health & safety risks associated with Construction Activities may be present and shall be identified by the Principal Contractor and the construction team. Design risks resulting from the proposed design must be identified by the relevant specialist designers, consultants and issued to the Principal Designer.

- ELEVATION KEY**
- Indicates windows
 - Indicates cladding
 - Indicates roof cladding
 - Indicates gable
- SITE PLAN KEY**
- Indicates non-empt buildings
 - Indicates non-empt buildings seen from SW map
 - Indicates approximate position of an non-empt trees and shrubs
 - Indicates site access

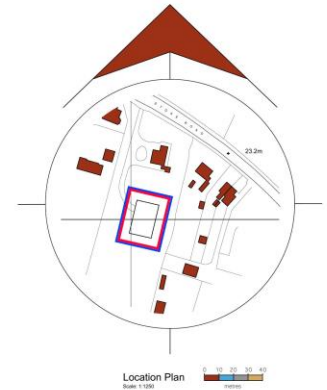
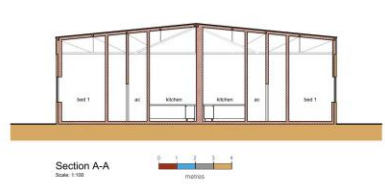
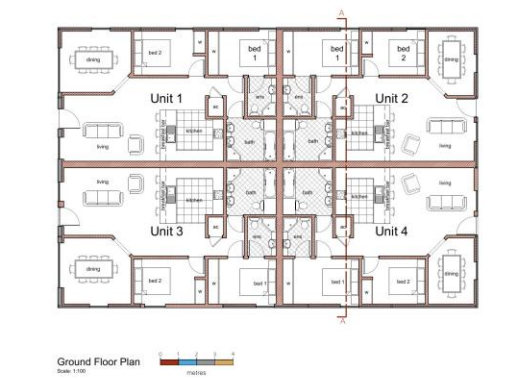
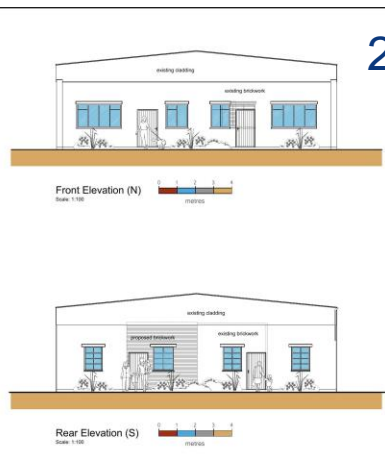


AS EXISTING

SWANN EDWARDS ARCHITECTURE

SWANN EDWARDS ARCHITECTURE LIMITED, SWANN EDWARDS ARCHITECTURE, STONE BARN, THE BARN, CLAYTON, WAREHAM, DORSET, ENGLAND, DT9 3JQ, UK
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Project	Proposed Barn Conversion at Impure Oak, Stone Road, Wareham, Dorset, UK	Date	April 2021
Client	Mr. & Mrs. G. L.	Drawn by	G.E.
Scale	1:100	Checked by	A.1
Sheet No.	SE-1606	Project No.	100



General Notes

1. All dimensions are shown in 'feet' unless otherwise stated.
2. The contractor, sub-contractors and suppliers must verify all dimensions of the site at the commencement of any work.
3. This drawing is to be read in conjunction with all relevant engineering and specialist sub-contractors drawings and specifications.
4. Any discrepancies are to be sought in the design situation.

CONSTRUCTION DESIGN & MANAGEMENT REGULATIONS 2015

The following information must be read in conjunction with the general notes. The contractor, sub-contractors and suppliers must verify all dimensions of the site at the commencement of any work. This drawing is to be read in conjunction with all relevant engineering and specialist sub-contractors drawings and specifications. Other means & methods must be discussed with Construction Activities and be approved in writing as specified by the Principal Contractor prior to any commencement. Change notes relating to construction design shall be controlled by the relevant qualified design professional and issued to the Principal Designer.

- SITE PLAN KEY**
- Indicates proposed barn conversion
 - Indicates unsurveyed buildings taken from OS map
 - Indicates approximate position of an unsurveyed house and buildings
 - Indicates existing site walls
- WALL KEY**
- Indicates existing wall
 - Indicates wall to be demolished
 - Indicates proposed wall

FOR APPROVAL

SWANN EDWARDS ARCHITECTURE

Swann Edwards Architecture Limited, Swann Edwards Architecture, Stoke Newington, Dalrymple, Waltham, Dagenham Market, Poplar, SE10 1JL

Job No	2021	Client Ref	GT
Proposed Barn Conversion at Incline Oval, Stoke Road, Waltham, Dagenham Market, Poplar, SE10 1JL	2021	Checked by	G.E.C.
Drawing No	SE-1606	Drawn by	A.1
Drawn by	PP1000	Revised	



Application site (view from Stoke Road)





22/01893/F

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View looking east along Stoke Road

22/01893/F

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No 167

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View looking west along Stoke Road



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Slide
No 168

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Slide
No 169

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Application site

22/01893/F

Slide
No 170

171



Application site, showing existing barn



22/01893/F

Slide
No 171

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22/01893/F

Slide
No 172

173



On application site looking south



22/01893/F

Slide
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Looking at western boundary of application site

22/01893/F

Slide
No 174

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Slide
No 175

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23/00096/F

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A 2b3p 70sqm semi-detached house
B 3b5p 93sqm semi-detached house

1.5m close-boarded fencing with 0.3m trellis

Site Area approx. 720sqm / 0.18 acre

revC: ID6 drain added
 revD: Plot C omitted
 revC: Plot B rooflights reduced in size, Plot C parapet note added
 revB: minor amendments
 revA: red line amended

Revision Details:
PROJECT:
 Proposed Development
 Land south of 18 Rowan Close
 Walsoken
 Wisbech
 PE13 3RW

CLIENT:
 Insynthesis Ltd

TITLE:
 Site Layout

DATE:
 25-01-23

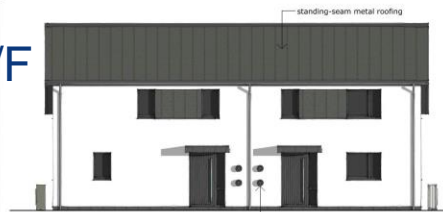
VOID Architecture
 Heath Barn, Norwich Road, Fakenham
 Norfolk, NR21 8LZ

tel: 01328 801536
 email: info@voidarchitecture.co.uk
 web: www.voidarchitecture.co.uk

DRAWING: 1199.01

REV: E SIZE: A2

This line frame is shown in length when printed correctly



North
scale 1:100



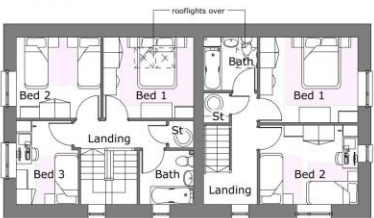
South
scale 1:100



East
scale 1:100



West
scale 1:100



First Floor
scale 1:100



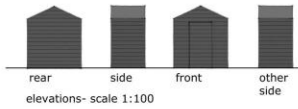
Ground Floor
scale 1:100



Typical Section
scale 1:100

- Materials Plots A & B**
- Roof: Standing seam grey metal sheeting
 - Walls: Light-coloured render with contrasting-colour infill panels
 - Joinery: Grey uPVC windows, composite door, pressed metal fascias
 - Rainwater goods: Galvanised metal gutters and downpipes

Plots A & B



Shed typical, all plots

VOID ARCHITECTURE

Materials: Shed
Roof: Felt roof
Walls: Timber

plan - scale 1:100



rev0: Plot C omitted
revC: rooflights reduced in size, single-storey parapet raised 150mm
revB: shed details added, ghosted elevations removed, rooflights clarified on plan, all to LA request
revA: materials provided

Revision Details:

PROJECT: Proposed Development
Land south of 18 Rowan Close
Walsoken
Wisbech
PE13 3RW

CLIENT: Insynthesis Ltd

TITLE: Floor Plans, Elevations & Perspectives

DATE: 24-01-23

VOID Architecture
Heath Barn, Norwich Road, Fakenham
Norfolk, NR21 8LZ
tel: 01328 801536
email: info@voidarchitecture.co.uk
web: www.voidarchitecture.co.uk

DRAWING: 1199.02 REV: D SIZE: A2

23/00096/F

Slide No 179



View of site looking east from Rowan Close

23/00096/F

Slide No 180

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Standing in the site looking east.



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Looking north towards neighbouring semi-detached dwellings.

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Looking west back towards Rowan Close



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Neighbouring properties to the south west in Fenland district

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Slide No 184



- Neighbouring properties to south east in BCKLWN



Standing in south east corner of site looking west.

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Slide No 186

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Standing at the end of the alley looking towards Wistaria Road



23/00096/F

Slide No 187



Standing on Wistaria Road looking north up the alley which joins onto the site.

END OF PRESENTATION

